



### SKETCH PLAN OF:

Proposed Lot 10 Latoria Terrace

Parcel Identifier: TBD

LEGEND

Elevations are geodetic referred to Lanford Integrated Survey

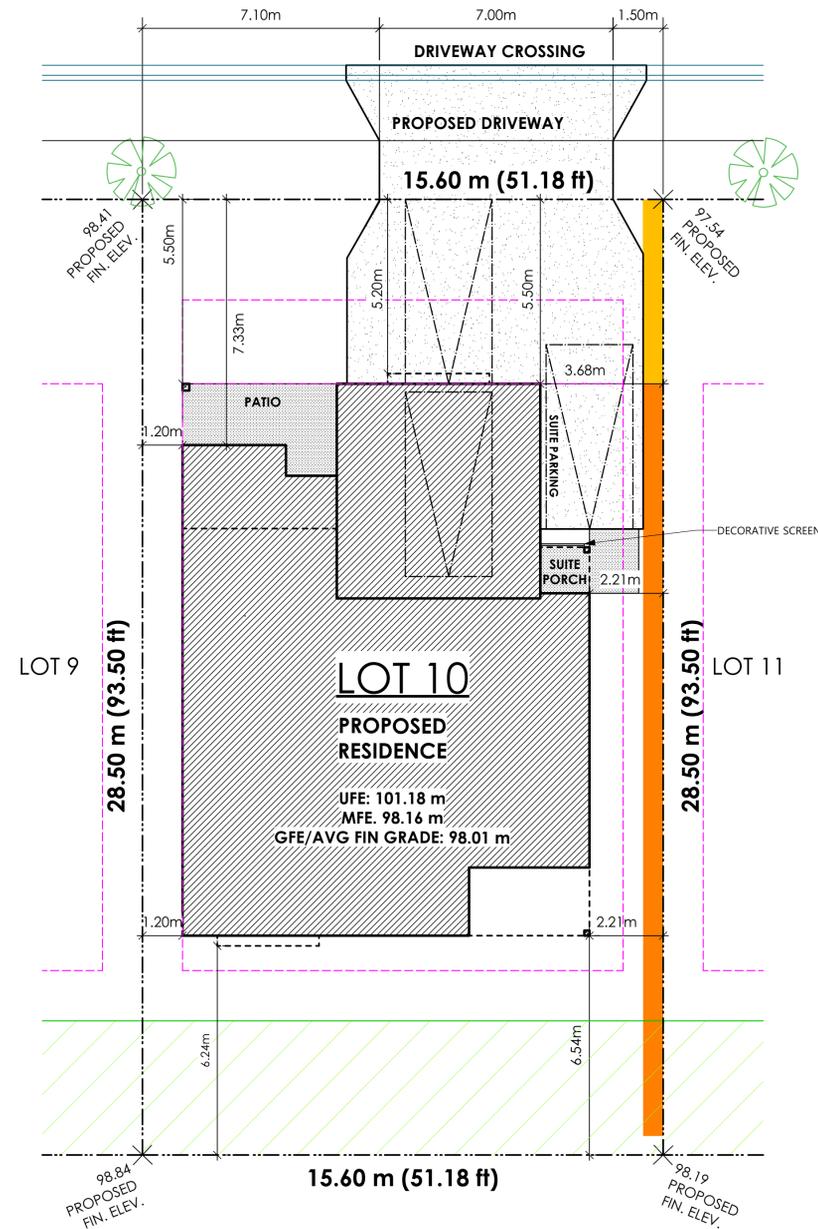
 - denotes Green Space

SITE DATA	R2	LOT 10
ITEMS	PERMITTED	PROPOSED
LOT AREA		444.60 sq.m.
LOT COVERAGE	50.00 %	44.28 %
HEIGHT	9.00 m.	7.64 m.
SETBACKS		
- FRONT	3.00 m.	5.20 m.
- REAR	5.50 m.	6.24 m.
- SIDE (E)	1.20 m.	2.21 m.
- SIDE (W)	1.20 m.	1.20 m.
- GARAGE	5.50 m.	5.50 m.
FLOOR AREA		
- UPPER		166.43 sq.m.
- MAIN		135.27 sq.m.
- GARAGE		39.02 sq.m.
SUBTOTAL FLOOR AREA		340.72 sq.m.

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 - denotes Green Space



1  
A2  
Site Plan  
Scale: 1:100

LIST OF DRAWINGS	
A1	General Notes
A2	Site Plan
A3	Elevations
A4	Elevations
A5	Foundation & Main Floor
A6	Upper Floor
A7	Cross-Section
D1	Construction Details I
D2	Construction Details II

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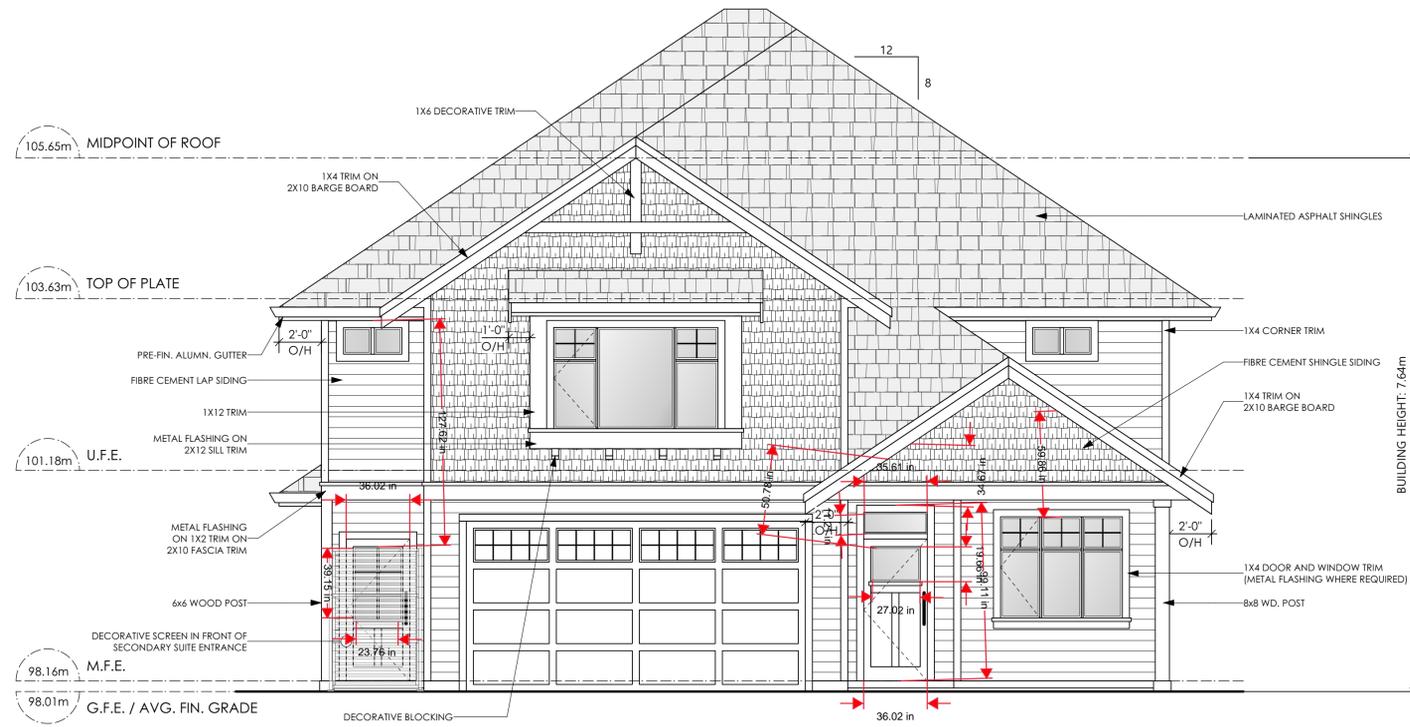


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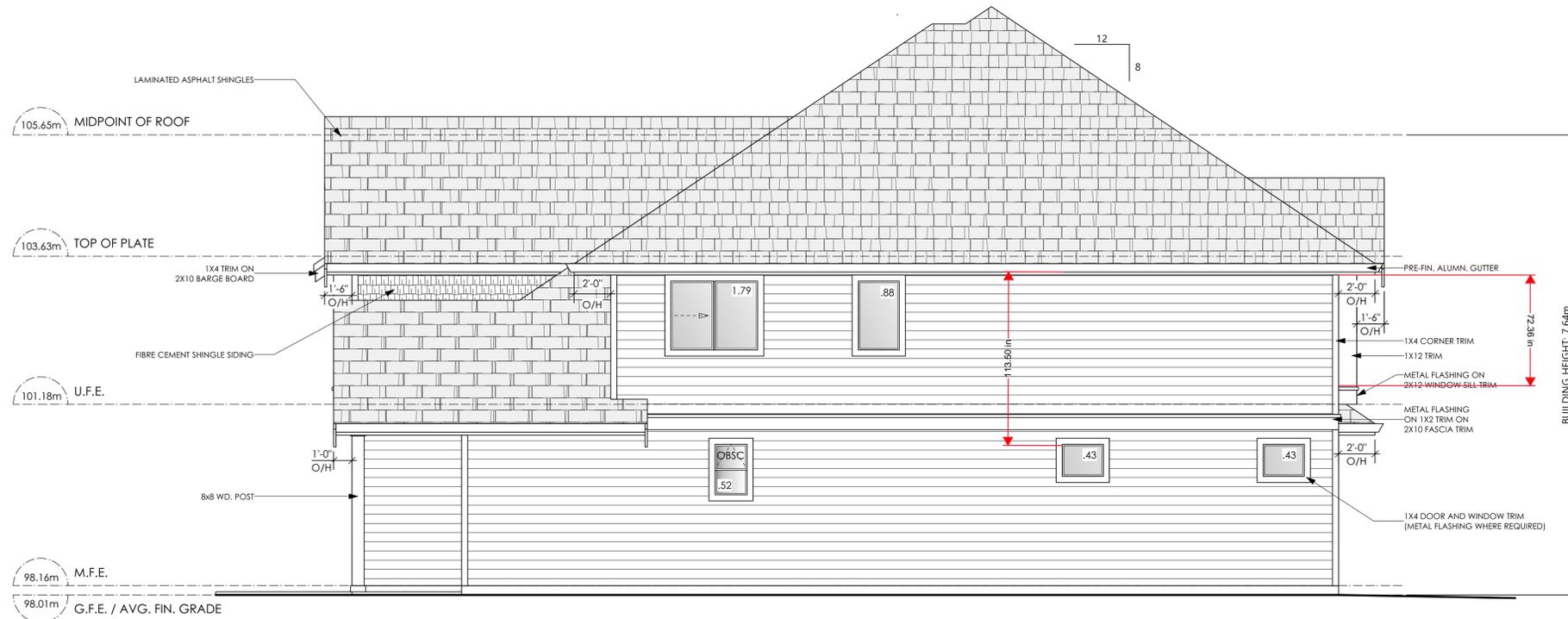
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PROJECT  
Proposed Residence:  
Langdon Weir Construction Ltd.  
Lot 10 - 'Jackson'  
1236 Ashmore Terrace  
Latoria Terrace  
Langford, B.C.



1  
A3 Front (N) Elevation  
Scale: 1/4" = 1'-0"



2  
A3 Right (W) Side Elevation  
Scale: 1/4" = 1'-0"

Limiting Distance	1.20	m.
Exposed Building Face	94.05	m <sup>2</sup>
Allowable Openings	7.00	%
Allowable Opening Area	7.52	m <sup>2</sup>
Proposed Openings	6.58	m <sup>2</sup>

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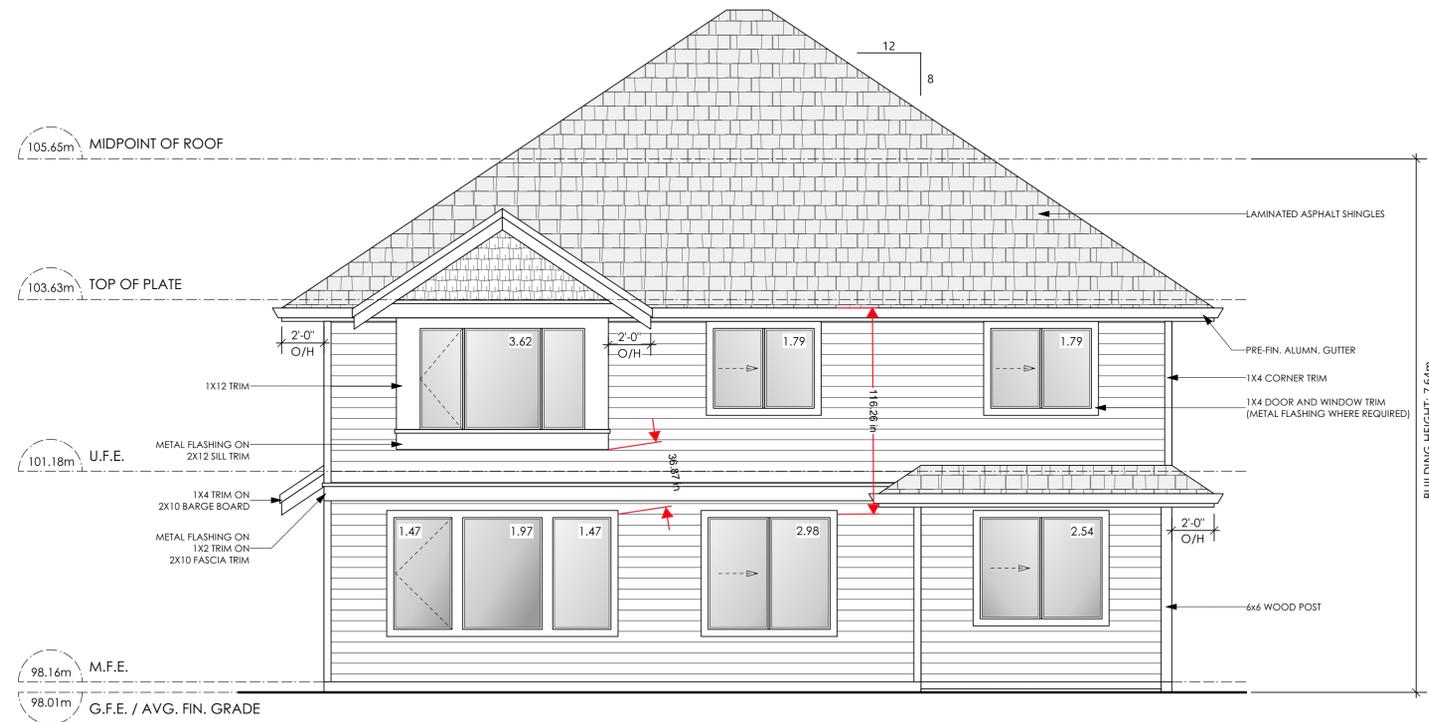
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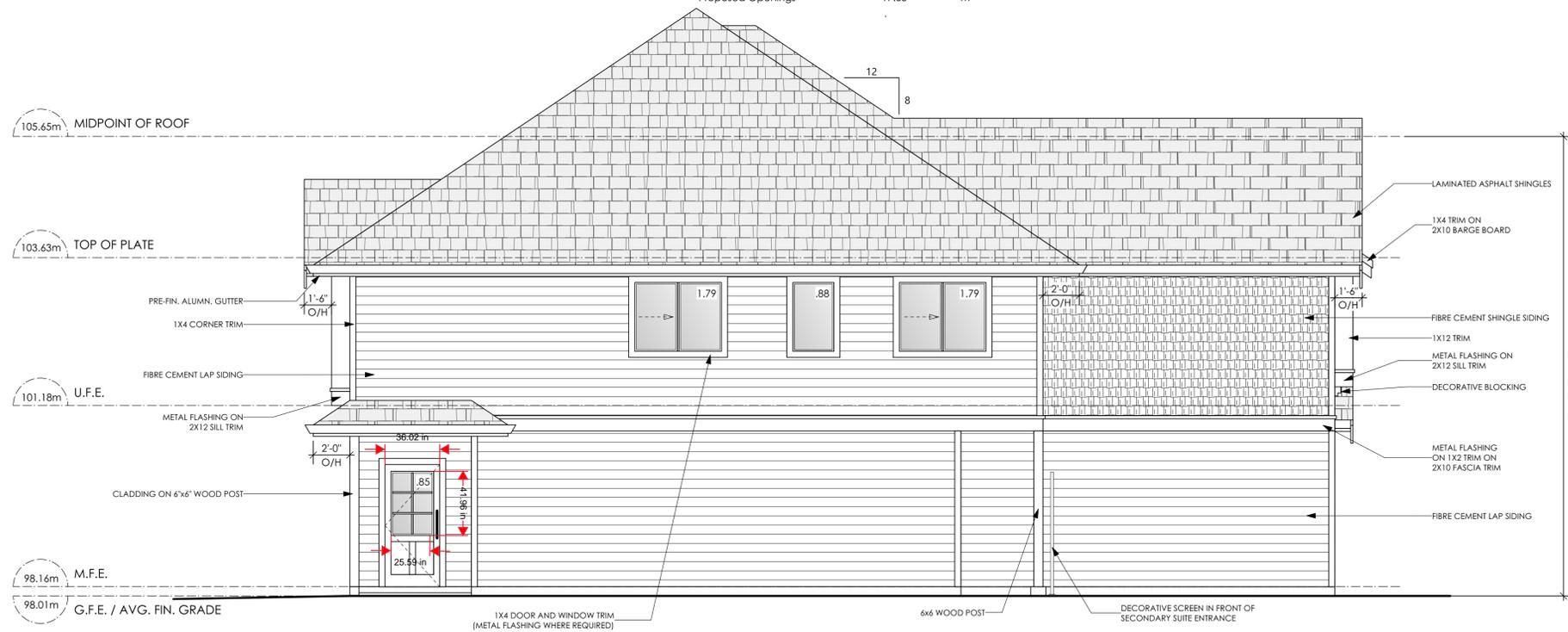
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**1** Rear (S) Elevation  
A4 Scale: 1/4" = 1'-0"

Limiting Distance	6.24	m.
Exposed Building Face	68.55	m <sup>2</sup>
Allowable Openings	36.64	%
Allowable Opening Area	25.12	m <sup>2</sup>
Proposed Openings	17.63	m <sup>2</sup>



**2** Left (E) Side Elevation  
A4 Scale: 1/4" = 1'-0"

Limiting Distance	2.21	m.
Exposed Building Face	82.68	m <sup>2</sup>
Allowable Openings	9.00	%
Allowable Opening Area	7.44	m <sup>2</sup>
Proposed Openings	5.31	m <sup>2</sup>

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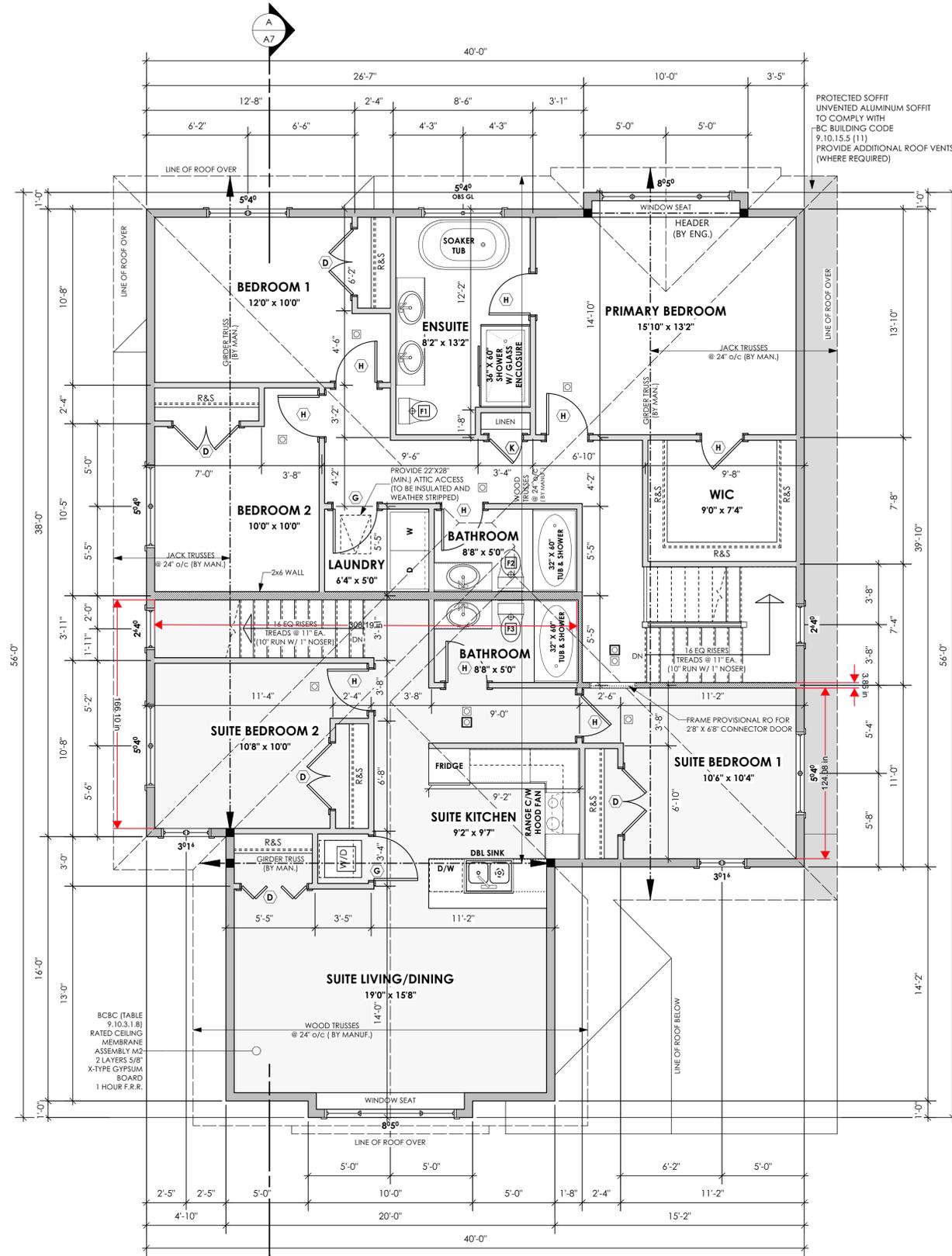
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**1**  
A6  
**Upper Floor Plan**  
Scale: 1/4" = 1'-0"  
PRIMARY: 963.20 ft<sup>2</sup> (89.48 m<sup>2</sup>)  
SUITE: 828.31 ft<sup>2</sup> (76.95 m<sup>2</sup>)  
TOTAL: 1791.51 ft<sup>2</sup> (166.43 m<sup>2</sup>)

NOTE:  
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER.  
STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR  
AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE  
WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED  
GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE  
FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

**MECHANICAL FAN(S) & VENT(S)**

- F1 BATHROOM FAN:  
23 L/S (50 CFM) INTERMITTENT  
9 L/S (20 CFM) CONTINUOUS
- F2 PRINCIPAL EXHAUST FAN:  
28 L/S (60 CFM) CONTINUOUS
- F3 PRINCIPAL EXHAUST & BATHROOM FAN FOR SUITE:  
23 L/S (50 CFM) INTERMITTENT  
21 L/S (45 CFM) CONTINUOUS

REFER TO GENERAL NOTES

- ☑ INTERCONNECTED SMOKE DETECTORS  
TO COMPLY WITH BCBC 9.10.19.  
INTERCONNECTED CARBON MONOXIDE  
DETECTORS TO COMPLY WITH BCBC 9.32.4.2.
- ☑ INTERCONNECTED PHOTOELECTRIC SMOKE  
ALARMS TO COMPLY WITH BCBC 9.10.14.5(2)(b) &  
9.10.19.5(2)(b)

**SYMBOLS & WALL LEGEND**

- ▬ 2" X 4" INTERIOR & FURRING
- ▬ 2" X 6" EXTERIOR & INTERIOR
- ▬ RATED WALL (SEE ASSEMBLIES)
- ▬ 8" THK. CONC. FOUNDATION WALL
- ▬ 16" X 8" CONC. STRIP FOOTING
- BUILT-UP WOOD POST
- BUILT-UP WOOD POST TO SUPPORT  
LOAD FROM ABOVE
- POINT LOAD ON BEAM FROM ABOVE

**WINDOWS & DOORS**

ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC  
9.9.10.1 (EGRESS) FOR BEDROOMS WITHOUT AN EXTERIOR  
DOOR (EXIT)  
VERIFY WINDOW OPERATIONS WITH OWNER  
PRIOR TO ORDERING

**DOOR SCHEDULE**

- (A) 8'0" X 6'8" (9'6" X 8'0")
- (B) 6'0" X 6'8" (7'2" X 8'0")
- (C) 5'0" X 6'8" (6'0" X 8'0")
- (D) 4'0" X 6'8" (4'8" X 8'0")
- (E) 3'0" X 6'8" (3'6" X 8'0")
- (F) 2'10" X 6'8" (3'4" X 8'0")
- (G) 2'8" X 6'8" (3'2" X 8'0")
- (H) 2'6" X 6'8" (3'0" X 8'0")
- (J) 2'4" X 6'8" (2'8" X 8'0")
- (K) 2'0" X 6'8" (2'4" X 8'0")
- (L) 1'6" X 6'8" (1'8" X 8'0")

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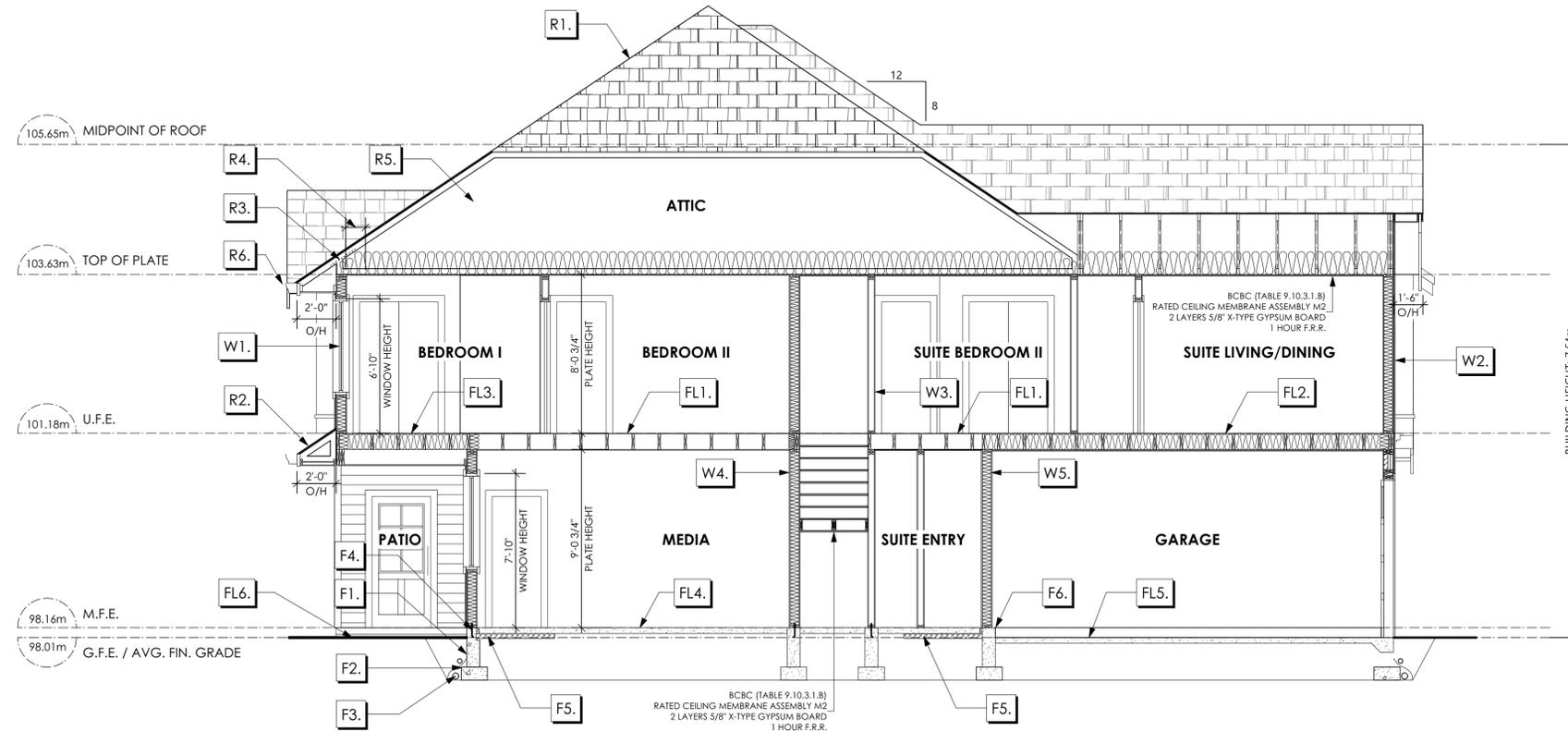


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**1** Section A-A  
A7 Scale: 1/4" = 1'-0"

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STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESERVATIVE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

**SECTION NOTES**

\* SEE A1 FOR EFFECTIVE RSI CALCULATIONS

**ROOFS**

- R1. LAMINATED ASPHALT SHINGLES ON 7/16" ORIENTED STRAND BOARD WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. LAMINATED ASPHALT SHINGLES ON 1/2" PLYWOOD SHEATHING OR EQUIV C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) VENTED ALUMINUM SOFFIT
- R3. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-20 INSULATION AND SHEATHING (min. R-20 @ ROOF-WALL CONNECTION FOR 4'-0" (1.2M) AROUND PERIMETER OF BUILDING. AIR VENTILATION Baffles TO BE INSTALLED WHERE REQUIRED AS PER BCBC 9.19.)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (TO COMPLY W/ BCBC 9.19.1)
- R6. PRE-FIN. ALUMINUM GUTTER 2"x8" FASCIA BD. 2"x4" SUB. FASCIA BD. VENTED ALUMINUM SOFFIT (SEE CONTRACTOR)
- R7. PROTECTED SOFFIT PRE-FIN. ALUMINUM FASCIA GUTTER 2"x8" FASCIA BD. 2"x4" SUB. FASCIA BD. UNVENTED ALUMINUM SOFFIT TO COMPLY W/ BCBC 9.10.15.5.(1) (NOT SHOWN IN SECTION)

**FLOORS**

- FL1. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (NAILED & GLUED TO FLOOR STRUCTURE BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) 1/2" GYPSUM BOARD
- FL2. B.C. BUILDING CODE (TABLE 9.10.3.1.-B) RATED FLOOR ASSEMBLY F9d FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (NAILED & GLUED TO FLOOR STRUCTURE BELOW) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) R-28 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" X-TYPE GYPSUM BOARD 1 HOUR F.R.R., 54 S.T.C. (NOT SHOWN IN SECTION)
- FL3. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W VENTED SOFFIT (to owners spec's) TO ALL SUSPENDED FLOOR AREAS
- FL4. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND
- FL5. 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (NOT SHOWN IN SECTION)
- FL6. EXPOSED AGG. FIN. 3.5" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND (PORCH & PATIO) (SLOPE 2% AWAY FROM HOUSE)

**WALLS**

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2 1/2"x10" UNITS OVER (w/ BEARING WALLS ONLY) (TYPICAL W/ 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS IS SHATTERPROOF) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF A.A.M.M./W.D.M./G.S.A. 1011/5.22/A440. "NAIS": Langford, CLASS R, DP 960, PG 20, WATER RESIST. 220, A2. RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W2. CONC. FIBRE BOARD ON 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 1/2" ORIENTED STRAND BOARD 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER (REFER TO DETAILS ON D1)
- W3. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED)
- W4. BCBC (TABLE 9.10.3.1.-A) RATED WALL ASSEMBLY W1g 1 LAYER 5/8" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) C/W 3 1/2" FIBRE GLASS SOUND Batts FRICTION FITTED AND SOLID FILLED 1 HR. F.R.R. 36 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" O/C C/W R-20 INSULATION 6MIL POLYN V.B. 1/2" GYPSUM BOARD (BETWEEN GARAGE AND LIVING SPACE)
- W6. 6" X 6" WOOD POST ANCHORED TO 10" DIA. CONC. PEDESTAL ON 30" X 30" X 10" CONC. PAD FTG C/W 3/15 METAL BARS BOTH WAYS ON UNDISTURBED SOIL (SOLID BEARING)) (NOT SHOWN IN SECTION)

**FOUNDATION WALLS**

- F1. DAMPROOFING (WHERE REQUIRED) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C B/W
- F2. 16"W 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2m) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY OR VERTICALLY FOR SLABS ABOVE FROST LINE. (VERIFY WITH MUNICIPALITY DEPTH OF FROST LINE)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY; VERIFY EXTENT ON SITE

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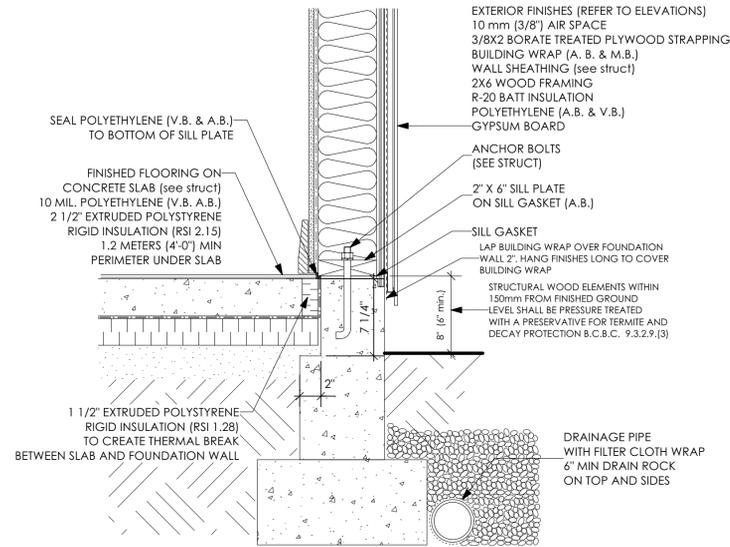
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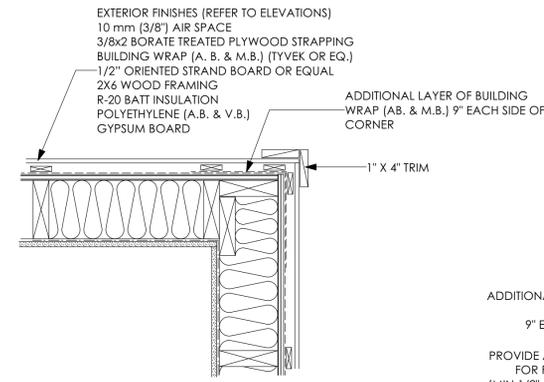
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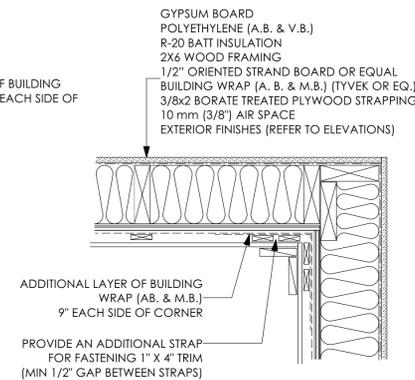
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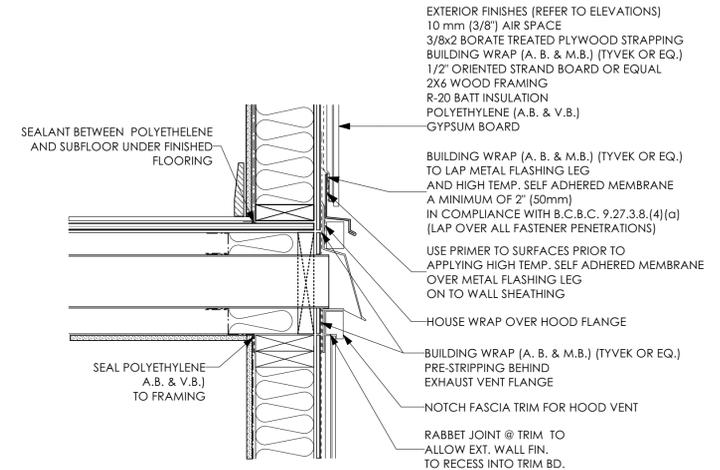
**1 Slab on Grade**  
D1 Scale: 1 1/2" = 1'-0"



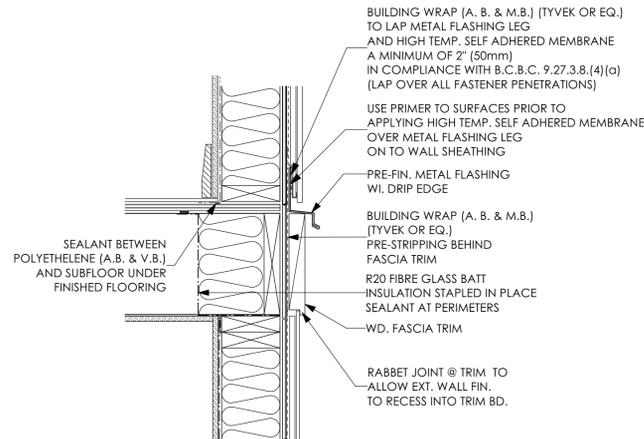
**2 Exterior Corner**  
D1 Scale: 1 1/2" = 1'-0"



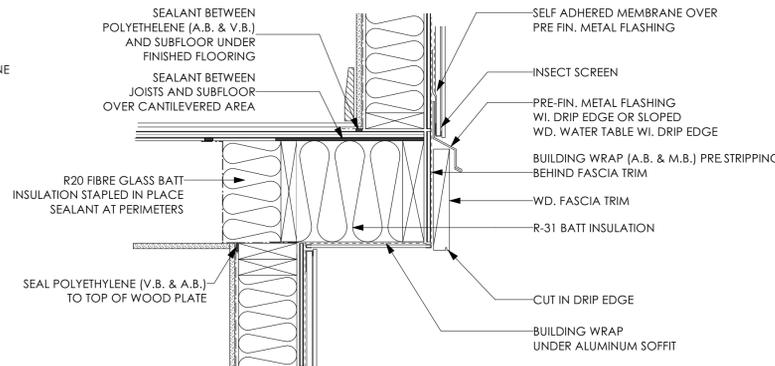
**3 Interior Corner**  
D1 Scale: 1 1/2" = 1'-0"



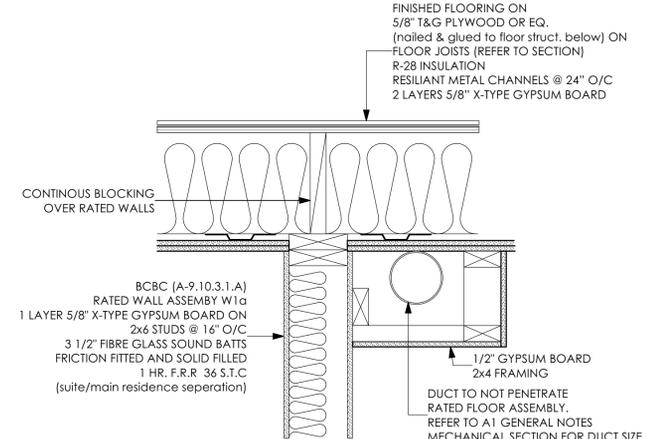
**4 Wall Exhaust Vent**  
D1 Scale: 1 1/2" = 1'-0"  
PRIMEX CAP (OR EQ.) REFER TO MANUF. FOR SPECIFICATIONS & INSTALLATION



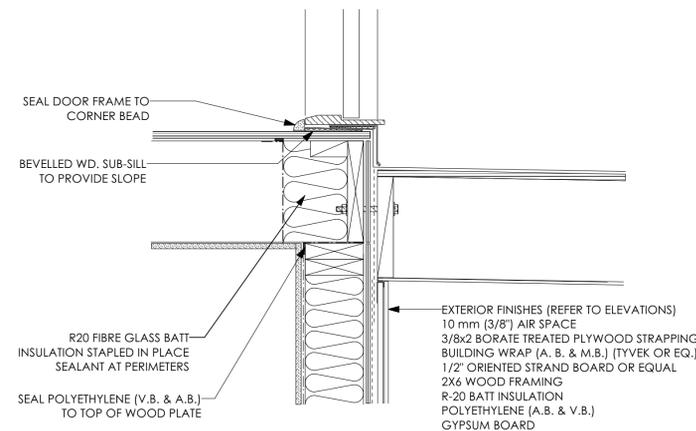
**5 Trimmer Joist**  
D1 Scale: 1 1/2" = 1'-0"



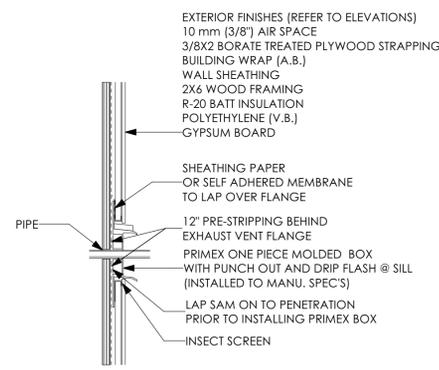
**6 Cantilevered Floor**  
D1 Scale: 1 1/2" = 1'-0"



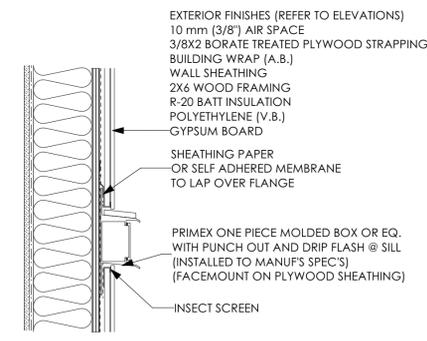
**7 Bulkhead (Suite)**  
D1 Scale: 1 1/2" = 1'-0"



**8 Door Sill Protected Membrane**  
D1 Scale: 1 1/2" = 1'-0"



**9 Pipes**  
D1 Scale: 1 1/2" = 1'-0"  
PRIMEX BOX REFER TO MANUF. FOR SPECIFICATIONS & INSTALLATION



**10 Electrical Fixtures**  
D1 Scale: 1 1/2" = 1'-0"  
PRIMEX BOX REFER TO MANUF. FOR SPECIFICATIONS & INSTALLATION

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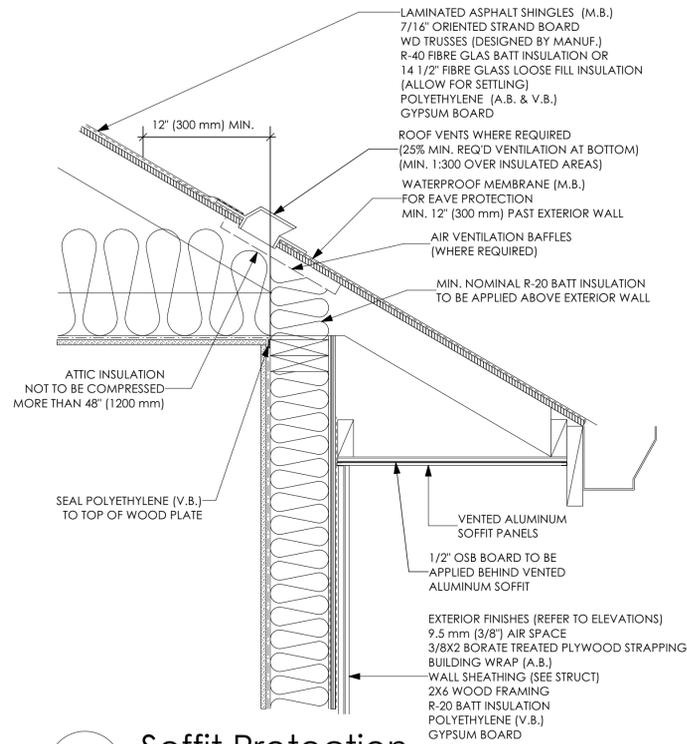
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V9B 0A6 www.victoriadesigngroup.ca

DATE	Feb 27, 2024	DRWG NO.	8524-10
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SCALE	As Shown	SHT. NO.	D1 OF D2

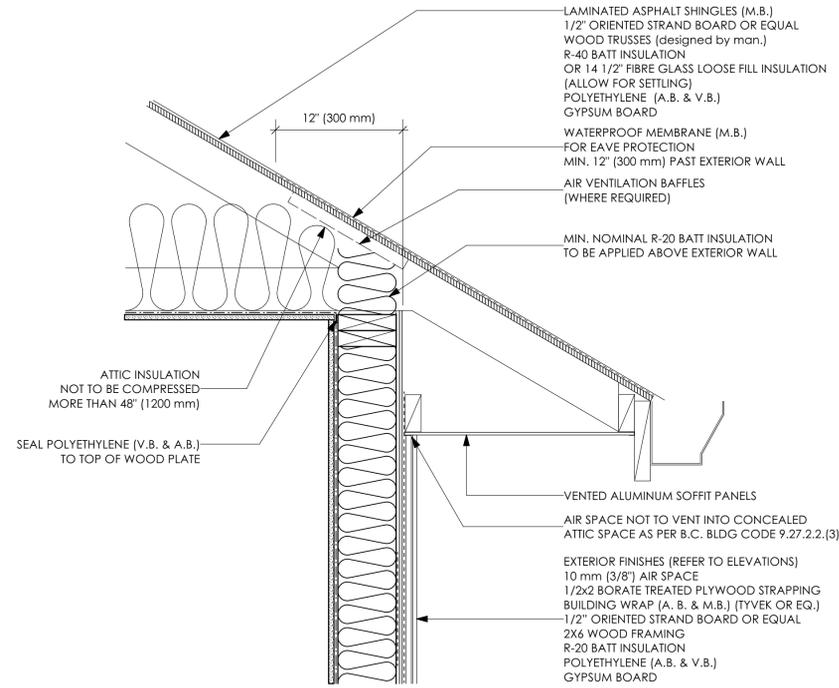
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PROJECT  
Proposed Residence:  
Langdon Weir Construction Ltd.  
Lot 10 - 'Jackson'  
1236 Ashmore Terrace  
Latoria Terrace  
Langford, B.C.

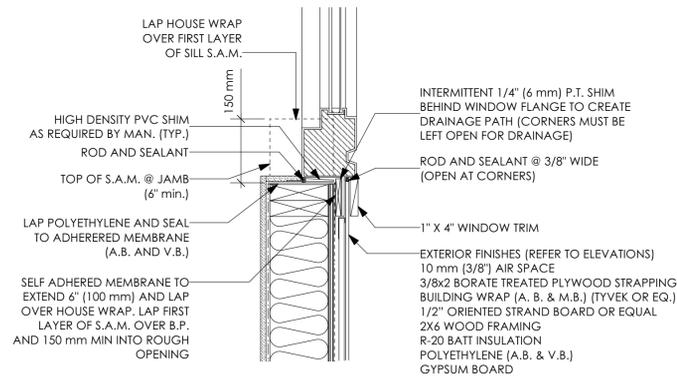


1 Soffit Protection  
D2 Scale: 1 1/2" = 1'-0"

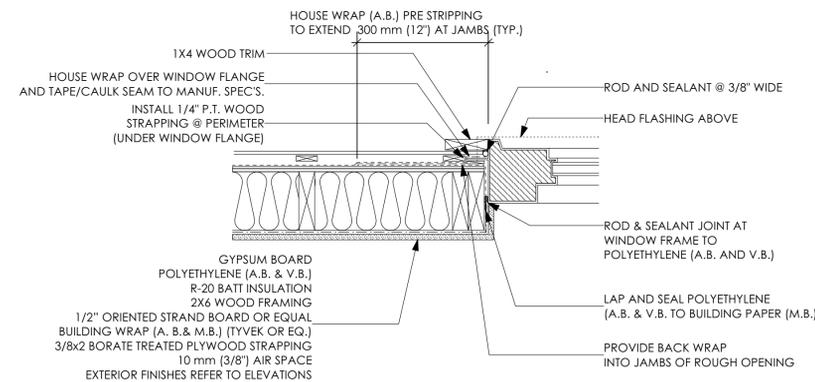
2018 BC BUILDING CODE 9.10.15.5 (11)  
(USE PROVIDED DETAIL WHEN ROOF OVERHANG  
IS WITHIN 1.20M OF PROPERTY LINE)



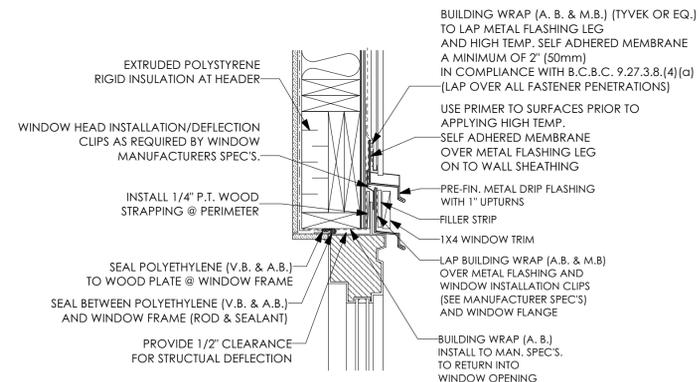
2 Water Shedding Roof / Wall  
D2 Scale: 1 1/2" = 1'-0"



3 Window Sill  
D2 Scale: 1 1/2" = 1'-0"



4 Window Jamb  
D2 Scale: 1 1/2" = 1'-0"



5 Window Head  
D2 Scale: 1 1/2" = 1'-0"

LIST OF DRAWINGS	
A1	General Notes
A2	Site Plan
A3	Elevations
A4	Elevations
A5	Foundation & Main Floor
A6	Upper Floor
A7	Cross-Section
D1	Construction Details I
D2	Construction Details II

ISSUED/REVISED	
01	02/03/24 Design Draft for Client Review
02	02/27/24 Issued for Building Permit Application

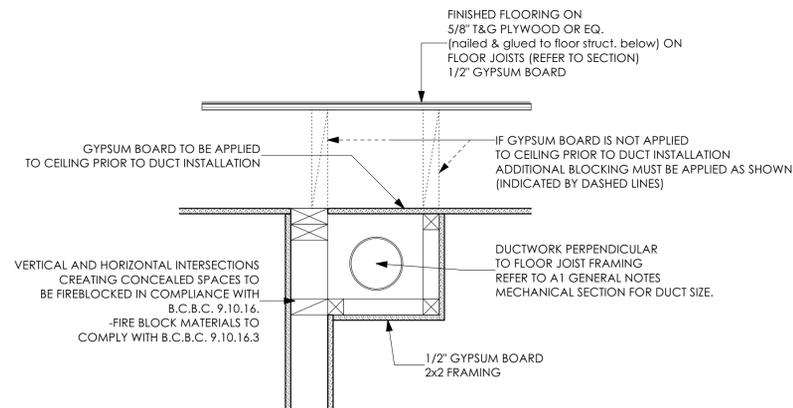
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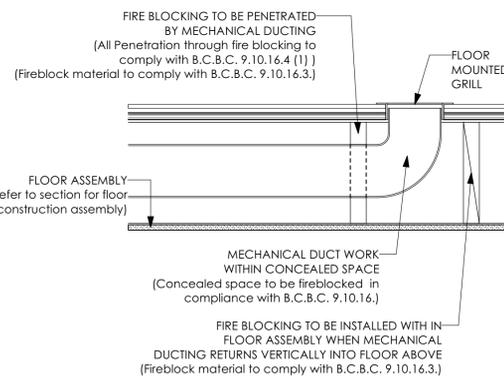
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SCALE	As Shown	SHT. NO.	D2 OF D2

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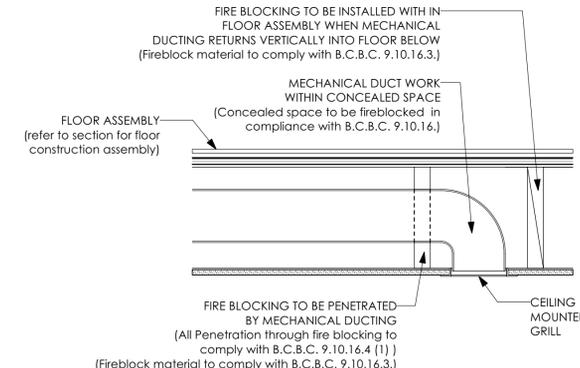
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Langford, B.C.



6 Fire Blocking Bulkheads  
D2 Scale: 1 1/2" = 1'-0"



7 Fire Blocking Within Floor Detail A  
D2 Scale: 1 1/2" = 1'-0"



8 Fire Blocking Within Floor Detail B  
D2 Scale: 1 1/2" = 1'-0"